



COUNTYWIDE DECEMBER 2015 DEVELOPMENT SERVICES OPEN FOR BUSINESS INDICATORS

BUILDING DIVISION

Permits Issued	1,358
Inspections Performed	4,737
Certificates of Occupancy Issued	80

DEVELOPMENT REVIEW ENGINEERING DIVISION

Flood Plain Reviews	12
Inspections Performed	95

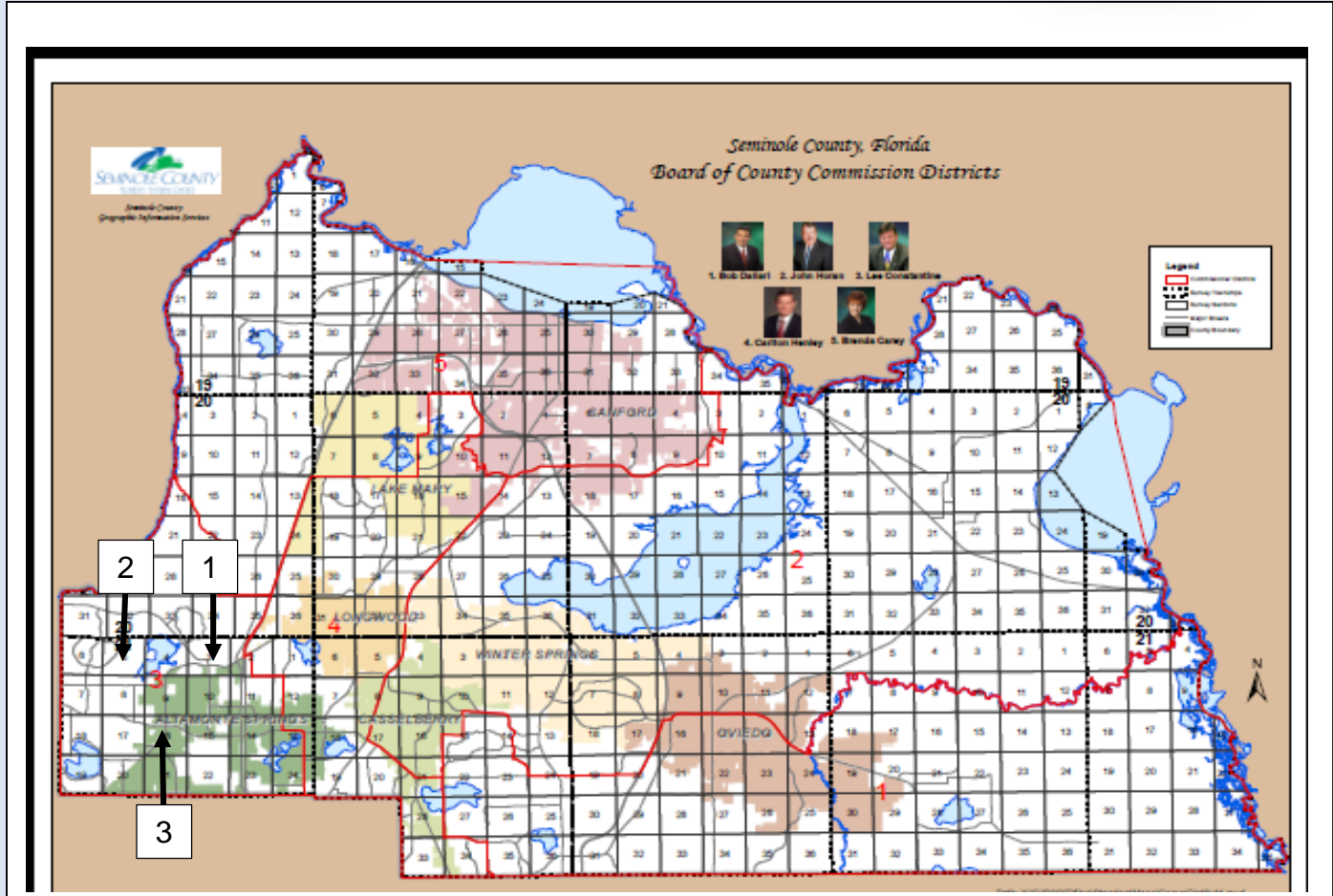
PLANNING AND DEVELOPMENT DIVISION

NEW APPLICATIONS RECEIVED	
Pre-Applications	14
Land Use Amendments	0
Rezones	0
PD Rezones	1
Small Site Plans	1
Site Plans	3
Subdivision – PSP	1
Subdivision – Engineering	1
Subdivision – Plats	1
Minor Plat	0
Land Split	0
Vacates	0
Special Events, Arbor, Special Exceptions, Minor Amendments	8

DISTRICT THREE DECEMBER 2015 DEVELOPMENT SERVICES PROJECTS



DRC / PRE-APPLICATIONS AND PROJECTS STARTING CONSTRUCTION



Note: Site locations are approximate

1. **SAND LAKE RD (2270) PRE-APPLICATION** – Proposed Special Exception and Site Plan for a child care center on 3.25 acres in the A-1 zoning district; located north of Sand Lake Road, east of Classic Drive; Parcel I. D. # 09-21-29-300-0130-0000; (Shera Aldridge, Applicant); BCC District 3 – Constantine; (15-80000115); (Matt Davidson, Project Manager). (December 2, 2015 DRC meeting)

DRC / PRE-APPLICATIONS – Continued

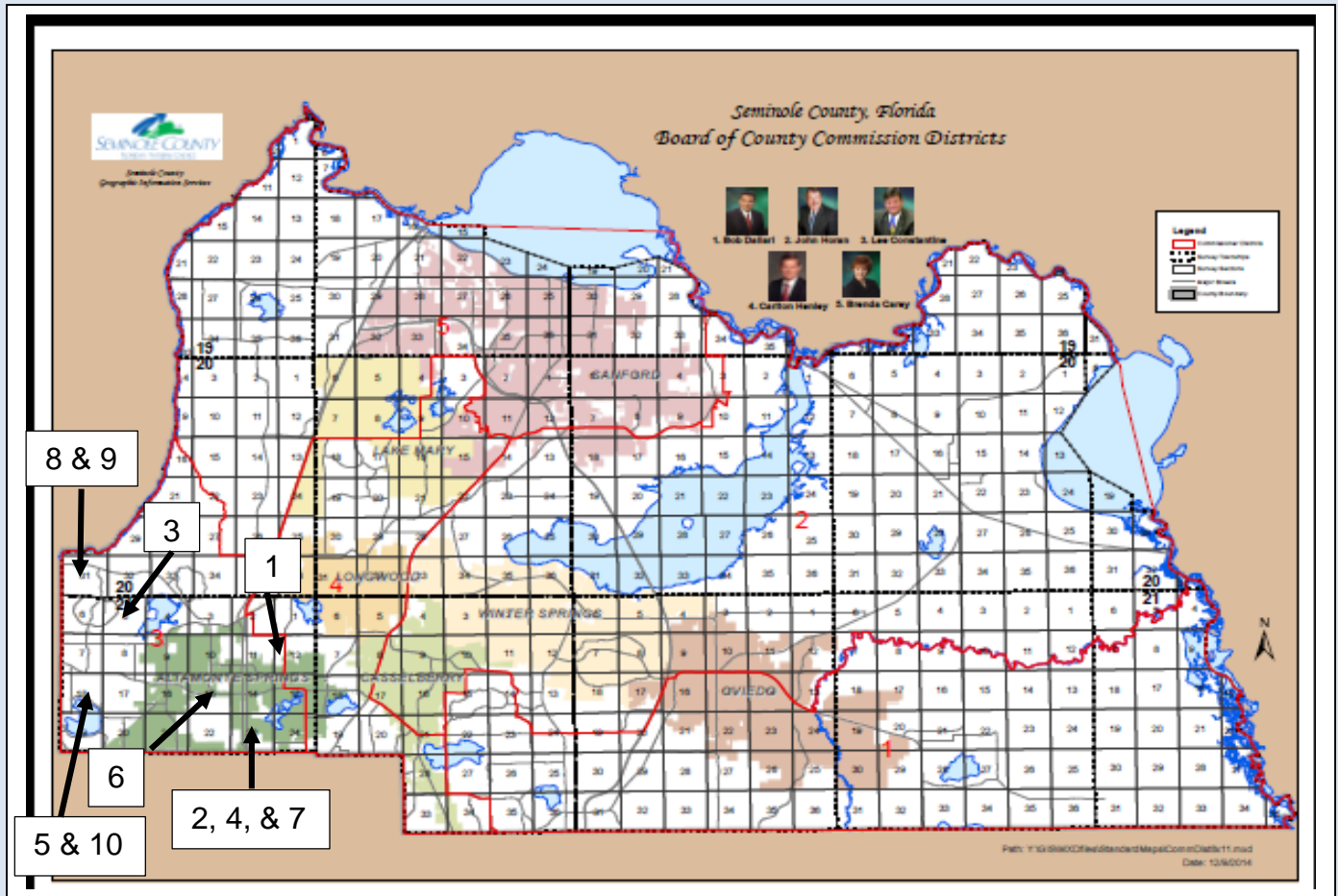
2. **KLINGER PROPERTY REZONE** – Proposed Rezone of 42 acres from A-1 to R-1A for a single-family residential subdivision; located south of W. Lake Brantley Road at Westwood Drive; Parcel I. D. # 05-21-29-300-003A-0000++; (Dan Kaiser, K. Hovnanian Homes, Applicant, and Chad Moorhead, Madden Moorhead, Consultant); BCC District 3 – Constantine; (15-20000006); (Joy Giles, Project Manager). (December 9, 2015 DRC meeting)

3. **DUKE ENERGY SPRING LAKE ELECTRICAL SUBSTATION PRE-APPLICATION** – Proposed Special Exception and Site Plan for an expansion to an existing substation on 3.88 acres in the A-1 zoning district; located north of Mahogany Lane, west of Northwestern Avenue; Parcel I. D. # 16-21-29-516-0000-007A; (Marc Stehli, Poulos & Bennett, Applicant); BCC District 3 – Constantine; (15-80000125); (Matt Davidson, Project Manager). (December 23, 2015 DRC meeting)

DRC PROJECTS STARTING CONSTRUCTION

None for District Three

BOARD ITEMS



Note: Site locations are approximate

PLANNING AND ZONING COMMISSION December 2, 2015

None for District Three

CODE ENFORCEMENT BOARD December 3, 2015

1. **456 E HIGHLAND ST** – Junked, abandoned and/or non-operating vehicles not kept within an enclosed garage or attached carport. Dorothy Hird, Code Enforcement Officer. *Findings of Fact entered giving the Respondent a compliance date of December 18, 2015, with a fine of \$100.00 per day until compliance is obtained. The property was not in compliance at the time of the hearing.*

CODE ENFORCEMENT BOARD – Continued
December 3, 2015

2. **102 ORIENTA DR** – Junked, abandoned and/or non-operating vehicles not kept within an enclosed garage or attached carport. Dorothy Hird, Code Enforcement Officer. *Respondent complied prior to the hearing.*
3. **2201 CAMELLIA DR** – Any other objectionable, unsightly, or unsanitary matter, substance or material tending by its existence and/or accumulation to endanger or adversely affect the health, safety, lives and/or welfare of the citizens of the County. Vincent Bavaro, Code Enforcement Officer. *Respondent complied prior to the hearing.*
4. **KAY LN** – Any weed growth, grass growth, undergrowth or dead or living vegetative matter that is growing in an uncontrolled manner or is not regularly maintained, and is in excess of eight (8) inches in height as measured from the soil level. Dorothy Hird, Code Enforcement Officer. *Respondent complied prior to the hearing.*

BOARD OF ADJUSTMENT
December 7, 2015

5. **3226 CAULFIELD ST** – Request for a rear yard (south) setback variance from thirty (30) feet to seventeen (17) feet nine (9) inches for a single story family room addition in the R-1A (Single Family Dwelling) district for property located on the south side of Caulfield Street, approximately 500 feet east of Martex Drive, and more particularly known as 3226 Caulfield Street; BV2015-85 (Aaron Diaz, Applicant) District 3 - Constantine (Jeff Hopper, Project Manager) – *Approved*
6. **216 FRANCES DR** – Request for a variance from the Land Development Code Section 30.206(a) for: (1) a rear yard setback variance from thirty (30) feet to four (4) feet; and (2) a side yard (south) setback variance from seven and one-half (7.5) to four (4) feet for a shed in the R-1A (Single Family Dwelling) district for property located on the east side of Frances Drive, approximately 200 feet south of Oak Drive, and more particularly known as 216 Frances Drive; BV2015-88 (Charles Bryant Clarke, Applicant) District 3 - Constantine (Jimette Cook, Project Manager) – *Approved*
7. **COMMUNICATION TOWER** – Request for a Special Exception for a Communication Tower in the R-1AA (Single-Family Residential) district for property located on the west side of Trinity Woods Lane, approximately 600 feet north of Wymore Road; BS2015-20 (Mary Doty Solik, Applicant) District 3 - Constantine (Kathy Hammel, Project Manager) – *Approved*
8. **COMMUNICATION TOWER** – Request for a Special Exception for a Communication Tower in the PD (Planned Development) district for property located on the north side of Wekiva Springs Road, approximately 280 feet east of Miami Springs Road/North Hunt Club Boulevard; BS2015-19 (Lauralee Westine, Applicant) District 3 - Constantine (Kathy Hammel, Project Manager) – *This item was continued to the January 25, 2015 meeting*

BOARD OF COUNTY COMMISSIONERS
December 8, 2015

Countywide Items:

METROPLAN ORLANDO TECHNICAL ADVISORY COMMITTEE – Approve staff appointments to the MetroPlan Orlando Technical Advisory Committee and authorize the Chairman to forward the appointments to MetroPlan Orlando. Countywide (Bill Wharton, Project Manager) – *Approved*

FLOODPLAIN ORDINANCE – Consider adoption of an Ordinance repealing part 51 (FP-1 Flood Prone Classification) of Chapter 30 (Zoning Regulations), Land Development Code of Seminole County, Florida; creating a new part 51 (Floodplain Management Ordinance of Seminole County); adopting flood hazard maps; designating a Floodplain Administrator; adopting procedures and criteria for development in flood hazard areas, and for other purposes. Countywide (Kim Fischer, Project Manager) – *Rescheduled for the January 12, 2016 meeting.*

TRANSMISSION OF PROPOSED AMENDMENTS TO THE TEXT OF THE SEMINOLE COUNTY COMPREHENSIVE PLAN – Consider transmittal of amendments to the Introduction, Future Land Use, Housing, Implementation, Intergovernmental Coordination and Recreation and Open Space Elements of the Seminole County Comprehensive Plan; (Amendment Number 2015.TXT01) Countywide (Sheryl Stolzenberg, Project Manager) – *Rescheduled for the January 12, 2016 meeting.*

9. **CODE ENFORCEMENT BOARD LIEN** – Appeal of Deputy County Manager's Denial of the Request for Reduction of the Code Enforcement Board lien, for Case # 12-82-CEB on the property located at 102 Sweetwater Club Boulevard, Longwood, Tax Parcel # 31-20-29-505-0G00-0040, Omar Kudra & Jennifer Brennan (current owners); (Nancy E. Brandt, Applicant) District 3 - Constantine (Patt Hughes, Project Manager) – *The Deputy County Manager's Denial was upheld and the request was denied.*

10. **CAVLAN VOLUNTARY BILLBOARD AGREEMENT** – Between Seminole County, Outfront Media, LLC, fka CBS Outdoor, and Cavlan Properties, LLC, for a proposed billboard to be located on the south side of S.R. 436, approximately 300 feet west of Bear Lake Road and more specifically known as 3468 East Semoran Boulevard, (Outfront Media, LLC, Applicant) District 3 - Constantine (Brian Walker, Project Manager) – *Rescheduled for the January 12, 2016 meeting.*